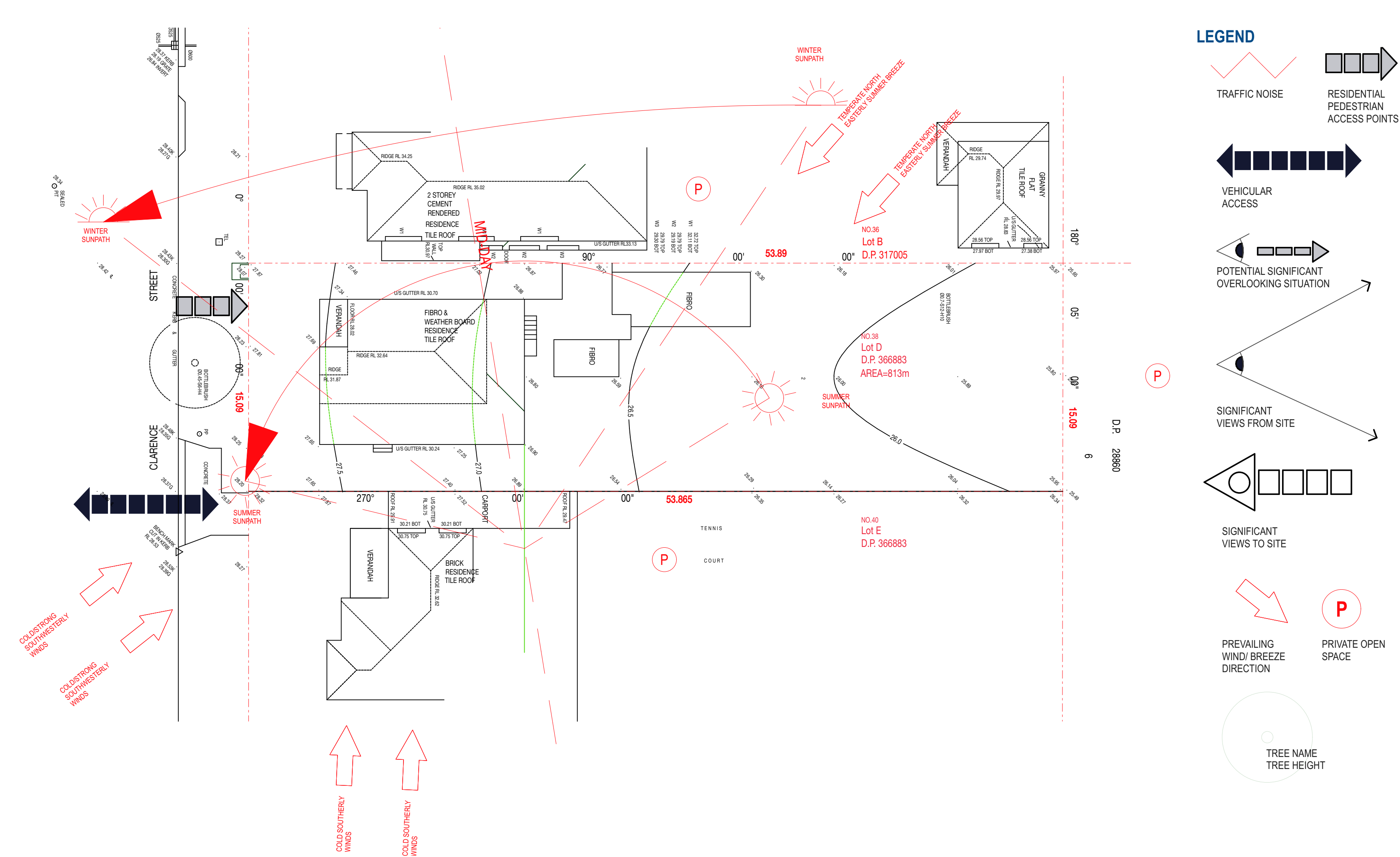




NOTES : DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES. C.O.S DENOTES ITEM TO BE CHECKED ON SITE. ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSSUM SURVEYING SERVICES PTY. L. AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ERGO DESIGNS.			This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of ergo designs.		Mr M NGUYEN 38 CLARENCE STREET, CONDELL PARK NSW client		NEW TWO STOREY ATTACHED DUAL OCCUPANCY & S/DIVISION project 38 CLARENCE STREET, CONDELL PARK address		 building designers and consultants 334A horner st earlwood nsw 2206 ph: 9558 1233 e-mail: ergo-des@bigpond.net.au		 Accreditation No.6667		 PERSPECTIVE VIEWS drawing 322-104 project A01 drawing no. A issue 28/4/22	
---	--	--	---	--	---	--	---	--	---	--	---	--	---	--

SITE ANALYSIS PLAN 1:200



Nationwide House Energy Rating Scheme — Multiple Class1-dwelling summary NatHERS Certificate No. 0007693000

Generated on 09 May 2022 using BERS Pro v4.4.1.5 (3.21)

Property

Address 38 Clarence St , Condell Park , NSW , 2200

Lot/DP D/366883

NatHERS climate zone 56

Accredited assessor Chad Whittaker
Dartecha Design
cw@dartechadesign.com.au
0439 622 809

Accreditation No. 55430

Assessor Accrediting Organisation ABSA

Verification
To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?p=FeEATRErB .
When using either link, ensure you are visiting hstar.com.au

Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m².p.a.)	Cooling load (MJ/m².p.a.)	Total load (MJ/m².p.a.)	Star rating
0007692981	Dwell A	43.4	18.5	61.9	5.3
0007692973	Dwell B	41.4	23.7	65.1	5.1

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1303709M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 09 May 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	322-104 ClarenceStCondellPk2LvlDuplex
Street address	38 Clarence Street Condell Park 2200
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	deposited 366883
Lot no.	D
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m²)	813
Roof area (m²)	323.81
Non-residential floor area (m²)	0.0
Residential car spaces	2
Non-residential car spaces	0

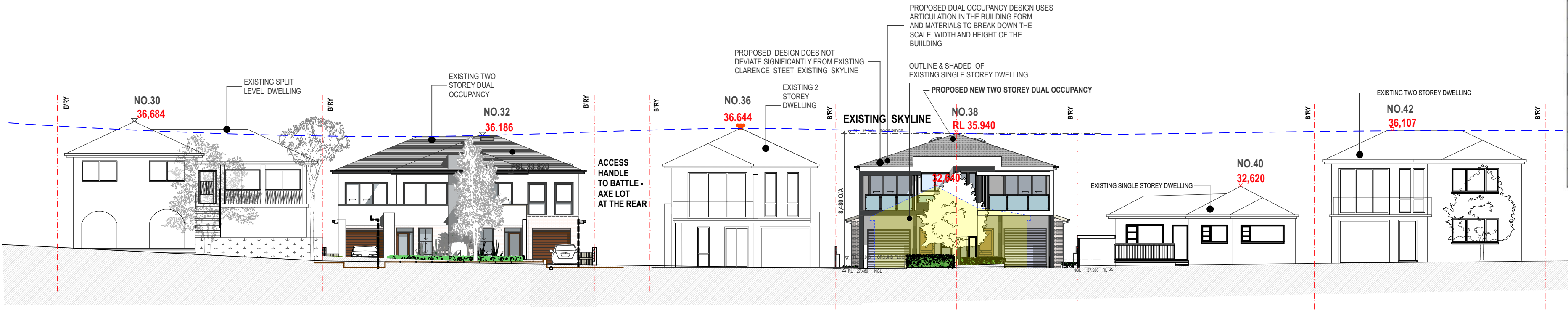
Common area landscape		
Common area lawn (m²)	0.0	
Common area garden (m²)	0.0	
Area of indigenous or low water use species (m²)	0.0	
Assessor details		
Assessor number	55430	
Certificate number	0007693000	
Climate zone	56	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	44	Target 40
Thermal Comfort	Pass	Target Pass
Energy	53	Target 50

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Min. of conditioned floor area (m²)	Min. of unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	4 or more bedrooms	168.8	29.5	167.4	50.0
Dwelling no.	No. of bedrooms	Min. of conditioned floor area (m²)	Min. of unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
2	4 or more bedrooms	168.8	29.5	167.4	50.0

STREETSCAPE ELEVATION 1:200



NOTES :
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES.
C.O.S DENOTES ITEM TO BE CHECKED ON SITE.
ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSSUM SURVEYING SERVICES PT. L.
AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ERGO DESIGNS.

..	..	..
..	..	..
..	..	..
..	..	..
A	D.A SUBMISSION	28.04.22
rev	notes	date

This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of ergo designs.

Mr M NGUYEN
38 CLARENCE STREET, CONDELL PARK NSW

client

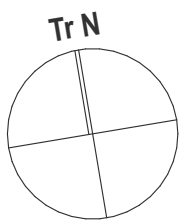
NEW TWO STOREY ATTACHED DUAL OCCUPANCY & S/DIVISION project
38 CLARENCE STREET, CONDELL PARK address

Ergo Designs P/L

building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

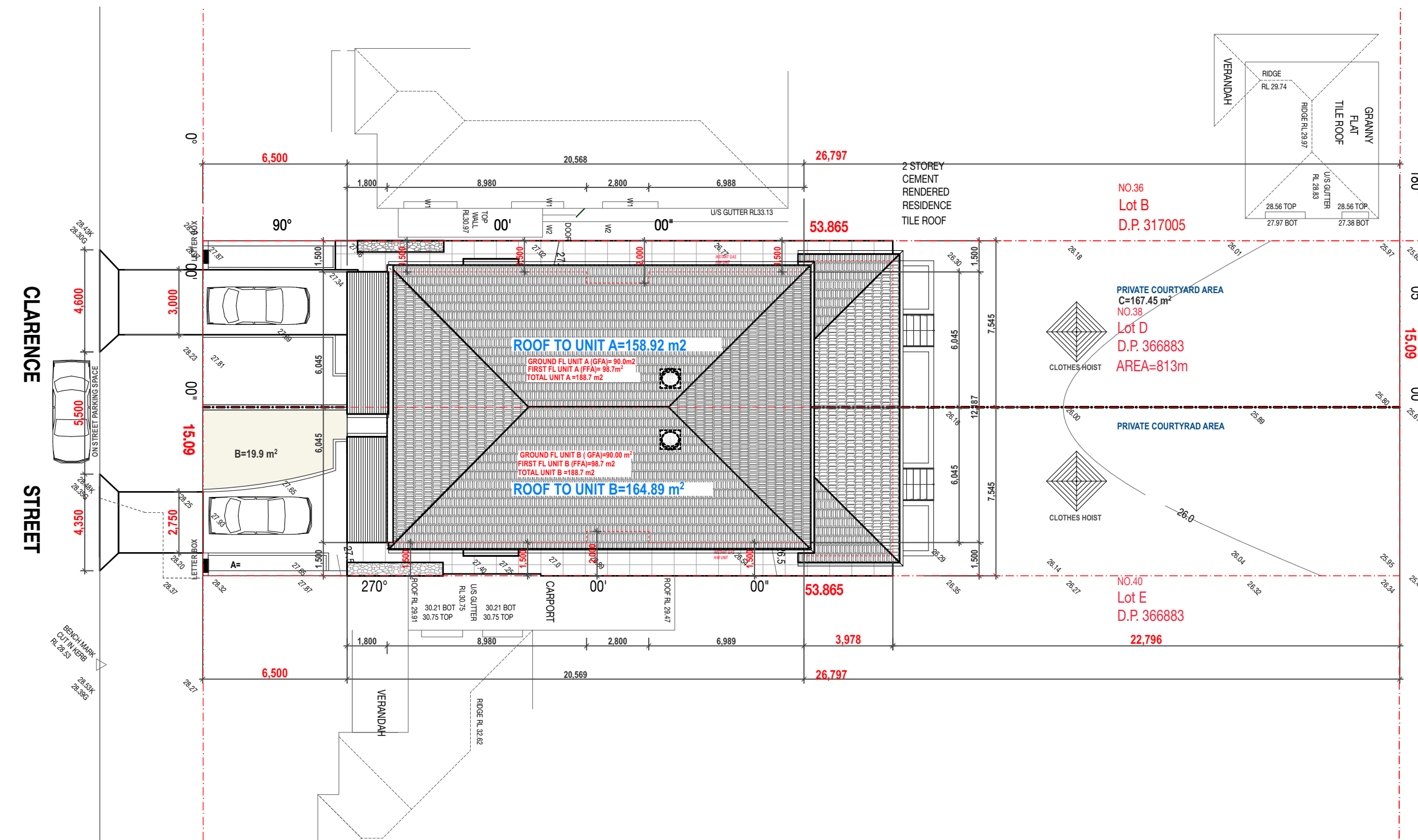
bdca
ACCREDITED
BUILDING DESIGNER

Accreditation No.6667

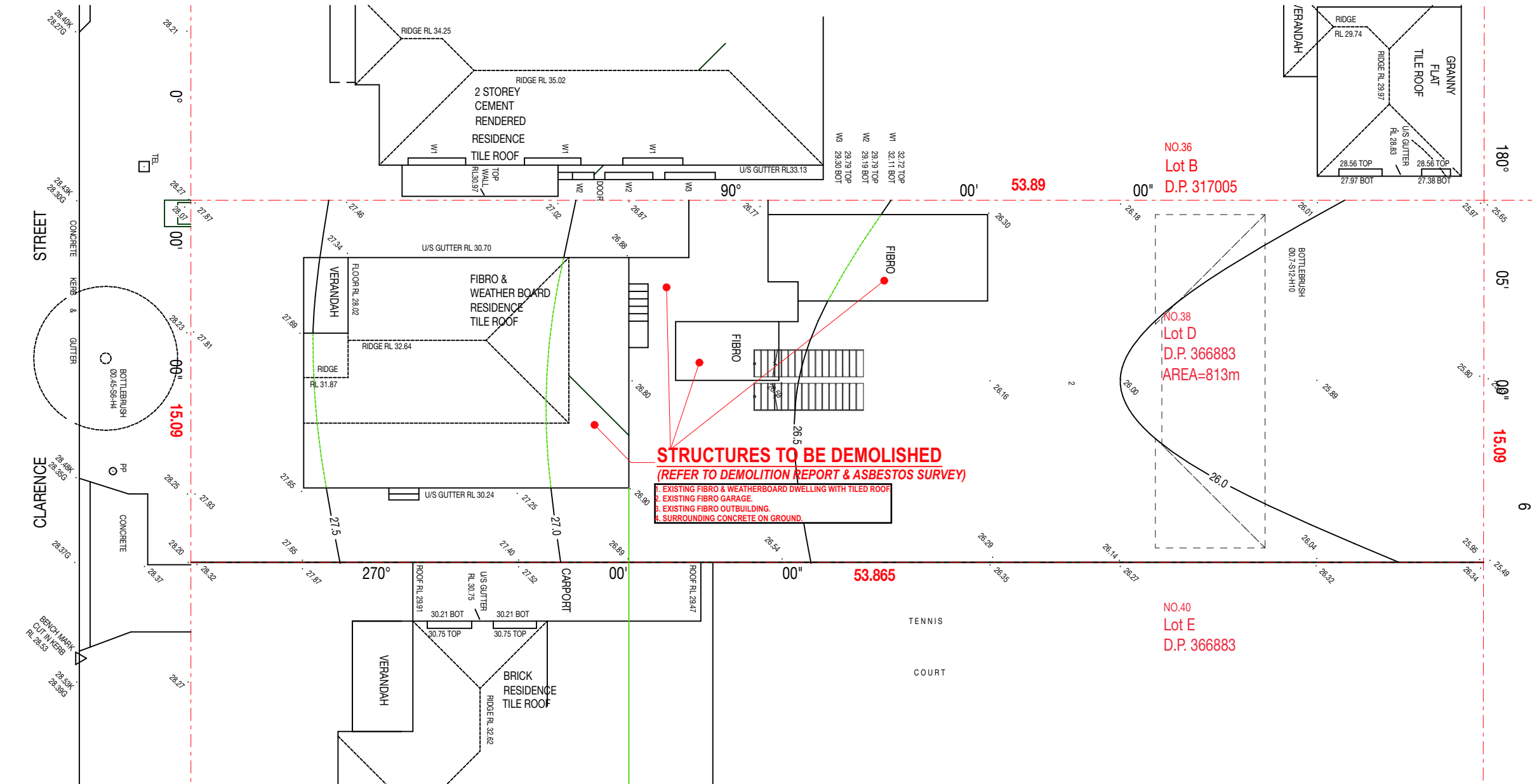


SITE ANALYSIS PLAN & STREETSCAPE ELEVATION.
drawing

322-104 project
A02 drawing no.
A issue
28/4/22



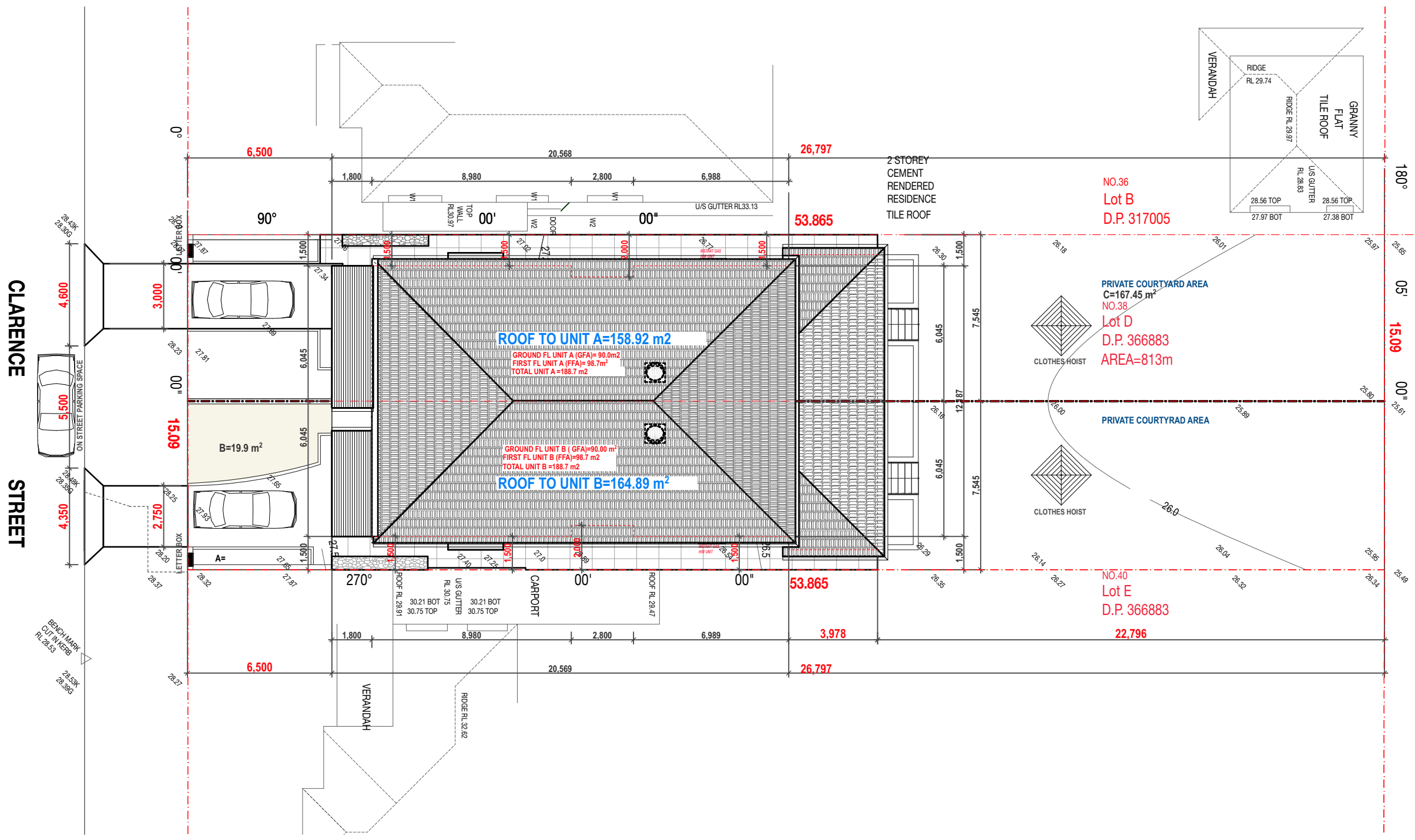
SITE PLAN 1:200



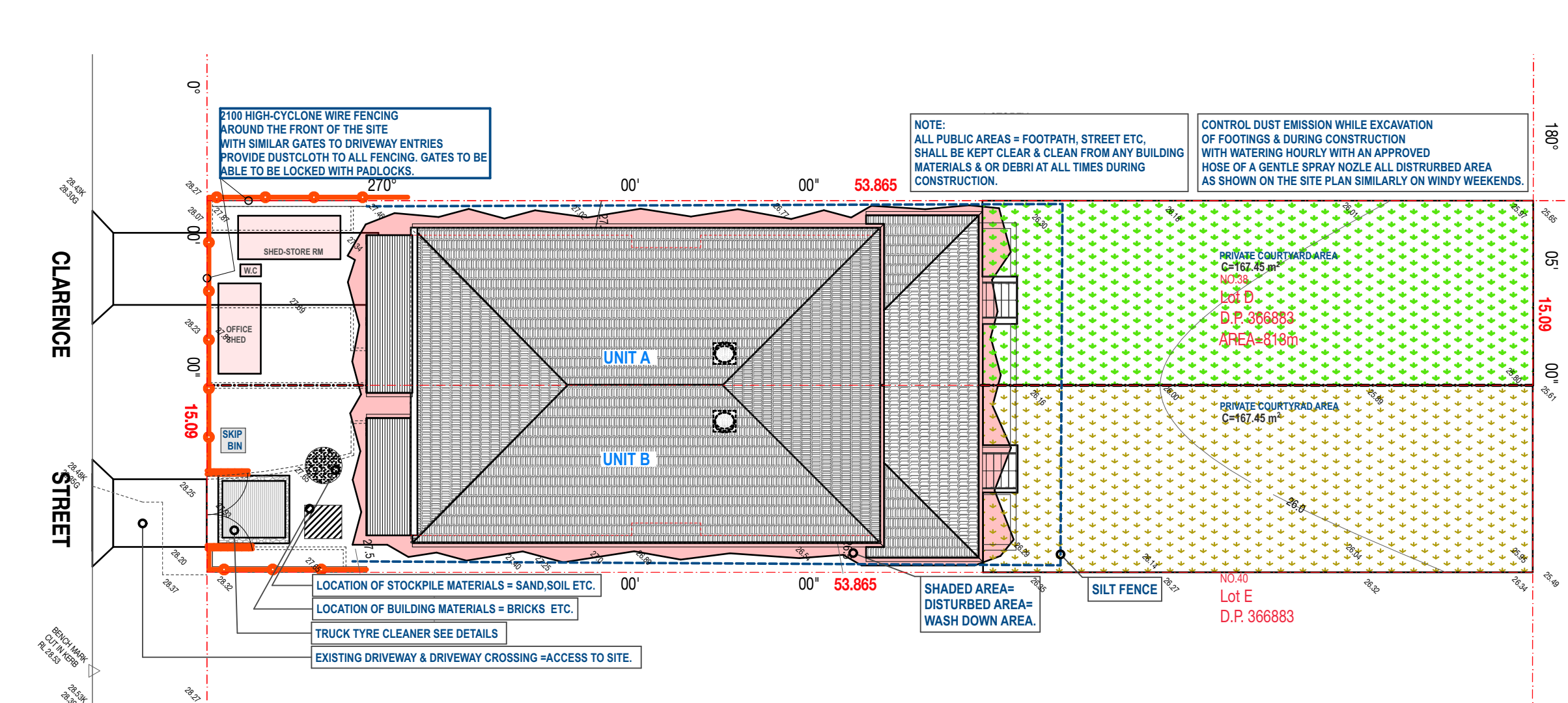
DEMOLITION PLAN 1:200

CALCULATIONS

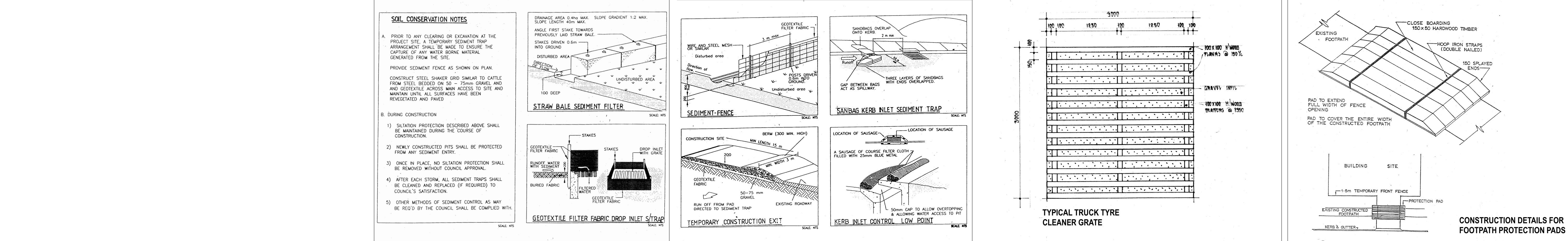
Control	Requirement	Proposal
No.1 Site Area	- Minimum site area = attached = 500 m ² - Minimum site width = 15 metres.	- Actual site area = 813.00m ² - Actual site width = 15.0metres.
No.2 Subdivision	- Minimum lot size = 250.00m ² - Minimum width = 7.50m	Min. lot size Dwelling A = 406.50m ² Actual width Dwelling A = 7.545m Min. lot size Dwelling B = 406.50m ² Actual width Dwelling B = 7.545m
No.3 FSR	0.5:1 = 406.50m ²	Actual total = 0.46:1 = 377.40m ²
UNIT A	0.5:1 = 203.25 m ²	- ACTUAL = UNIT A Ground floor = 90.0m ² First floor = 96.70m ² Total = 0.46:1 = 188.70 m ²
UNIT B	0.5:1 = 203.25 m ²	- ACTUAL = UNIT B Ground floor = 90.0m ² First floor = 96.70m ² Total = 0.46:1 = 188.70 m ²
No.4. Building Height	- Roof height. - Wall height.	8.524 metres max. xxx 7.000 metres max. xxx
No.5 Setbacks	Fronts	UNIT A = 6.50m Ground floor = 6.50m First floor UNIT B = 6.50m Ground floor = 6.50m First floor
Side	- Both storeys = 90 m up to 7.0 wall height - Distance between eaves/gutters and lot boundary 0.45metres	UNIT A = 1.500metres min. both floors = 900m rear patio single storey UNIT B = 1.500metres min. both floors = 900m rear patio single storey Eaves throughout .450m
Rear		UNIT A = Ground = 22.618m First = 26.797m UNIT B = Ground = 22.618m First = 26.797m
No.6 Open Space	80m ² Private courtyard 5.0m min. width	UNIT A = 167.45m ² = Dimensions = 7.545m min. UNIT B = 167.45m ² = Dimensions = 7.545m min.
No.7 Maximum roof pitch	Maximum roof pitch = 35 Deg.	Actual Maximum roof pitch = 22 Deg. xxx
No.8 Parking Rates	3 bedroom or more: 2 spaces per dwelling	Actual parking = 1 internal spaces per unit = 1 external open @ front of drive
No.9 Landscaping	Minimum 45% of front of bldg area	Actual UNIT A = 47.28% of front of bldg. UNIT B = 45.24% of front of bldg.

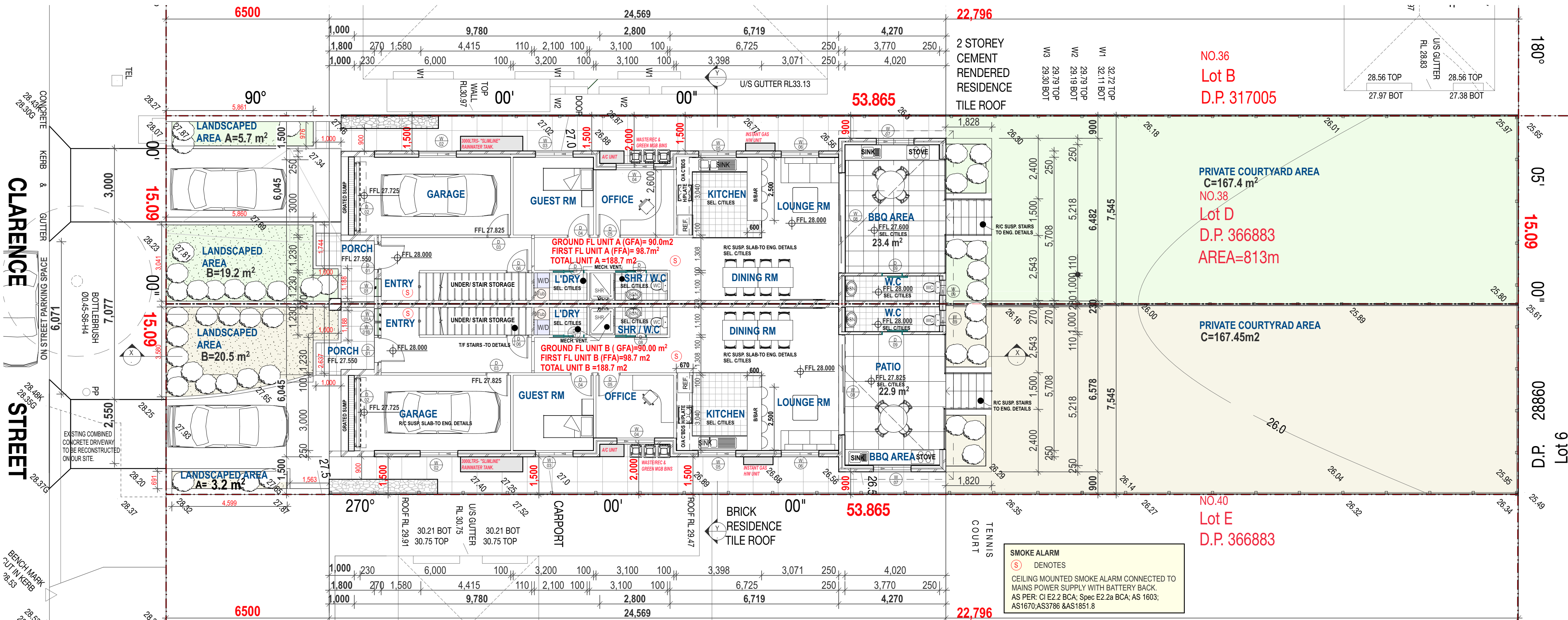


SUB DIVISION PLAN 1:200

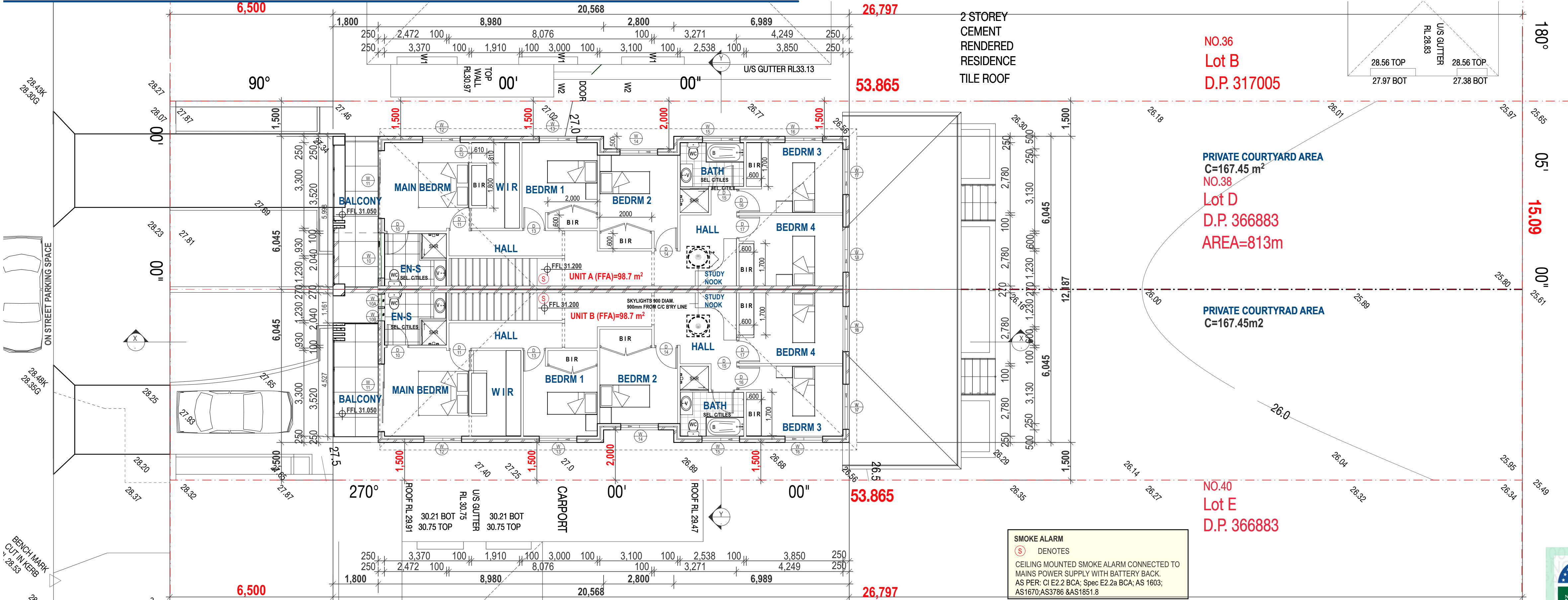


EROSION & SEDIMENT CONTROL PLAN 1:200





PROPOSED GROUND FLOOR PLAN & SITE PLAN 1:100



PROPOSED FORST FLOOR PLAN & SITE PLAN 1:100

NOTES :

DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT
OF WORK. REPORT ANY DISCREPANCIES.
C.O.S DENOTES ITEM TO BE CHECKED ON SITE.

ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSSUM SURVEYING
SERVICES PT.

AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND
SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED,
REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF
ERGO DESIGNS.

..	..	..
..	..	..
..	..	..
A	D.A SUBMISSION	28.04.22
rev	notes	date

This drawing is issued upon the condition it is not
copied, reproduced, retained or disclosed to any
unauthorised person
either wholly or in part without prior consent in
writing of ergo designs.

Mr M NGUYEN
38 CLARENCE STREET, CONDELL
PARK NSW

client

NEW TWO STOREY ATTACHED
DUAL OCCUPANCY & S/DIVISION
project

38
CLARENCE STREET,
CONDELL PARK
address

Ergo Designs P/L

building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

UNIT A:

WINDOW REF No.	WINDOW TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE	SILL HEIGHT. FROM FFL
W 01	ALUMINIUM FRAME AWNING WINDOWS	700mm	2400mm	0
W 02	ALUMINIUM FRAME SLIDING WINDOWS	1500mm	1500mm	900mm
W 07	ALUMINIUM FRAME SLIDING DOOR	4000mm	2400mm	0
W 08	ALUM. FRAME HIGH SLIDING WINDOW	600mm	600mm	1800mm
WINDOW SCHEDULE -FIRST FLOOR				
W 10	ALUMINIUM FRAME SLIDING WINDOW	1800mm	1200mm	1200mm
W 11	ALUMINIUM FRAME SLIDING DOOR	2700mm	2400mm	0
W 12	ALUMINIUM FRAME SLIDING WINDOWS	1500mm	1500mm	900mm

UNIT B:

WINDOW REF No.	WINDOW TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE	SILL HEIGHT. FROM FFL
W 01	ALUMINIUM FRAME AWNING WINDOWS	700mm	2400mm	0
W 02	ALUMINIUM FRAME SLIDING WINDOWS	1500mm	1500mm	900mm
W 07	ALUMINIUM FRAME SLIDING DOOR	4000mm	2400mm	0
W 08	ALUM. FRAME HIGH SLIDING WINDOW	600mm	600mm	1800mm
WINDOW SCHEDULE -GROUND FLOOR				
W 10	ALUMINIUM FRAME SLIDING WINDOW	1800mm	1200mm	1200mm
W 11	ALUMINIUM FRAME SLIDING DOOR	2700mm	2400mm	0
W 12	ALUMINIUM FRAME SLIDING WINDOWS	1500mm	1500mm	900mm

UNIT A.

DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE
D 01	SOLID CORE W/P DOOR	1000 mm	2100mm
D 02	AUTOMATIC ROLLER -DOOR	2700 mm	2400mm
D 03	HOLLOW CORE SWING DOORS	900 mm	2100mm
D 04	SOLID CORE SL. DOOR	900 mm	2100mm
DOOR SCHEDULE -FIRST FLOOR			
D 10	HOLLOW CORE SWING DOORS	900 mm	2100mm
D 11	SQUARE OPENING	900 mm	2100mm

UNIT B.

DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE
D 01	SOLID CORE W/P DOOR	1000 mm	2100mm
D 02	AUTOMATIC ROLLER -DOOR	2700 mm	2400mm
D 03	HOLLOW CORE SWING DOORS	900 mm	2100mm
D 04	SOLID CORE SL. DOOR	900 mm	2100mm
DOOR SCHEDULE -GROUND FLOOR			
D 10	HOLLOW CORE SWING DOORS	900 mm	2100mm
D 11	SQUARE OPENING	810 mm	2100mm

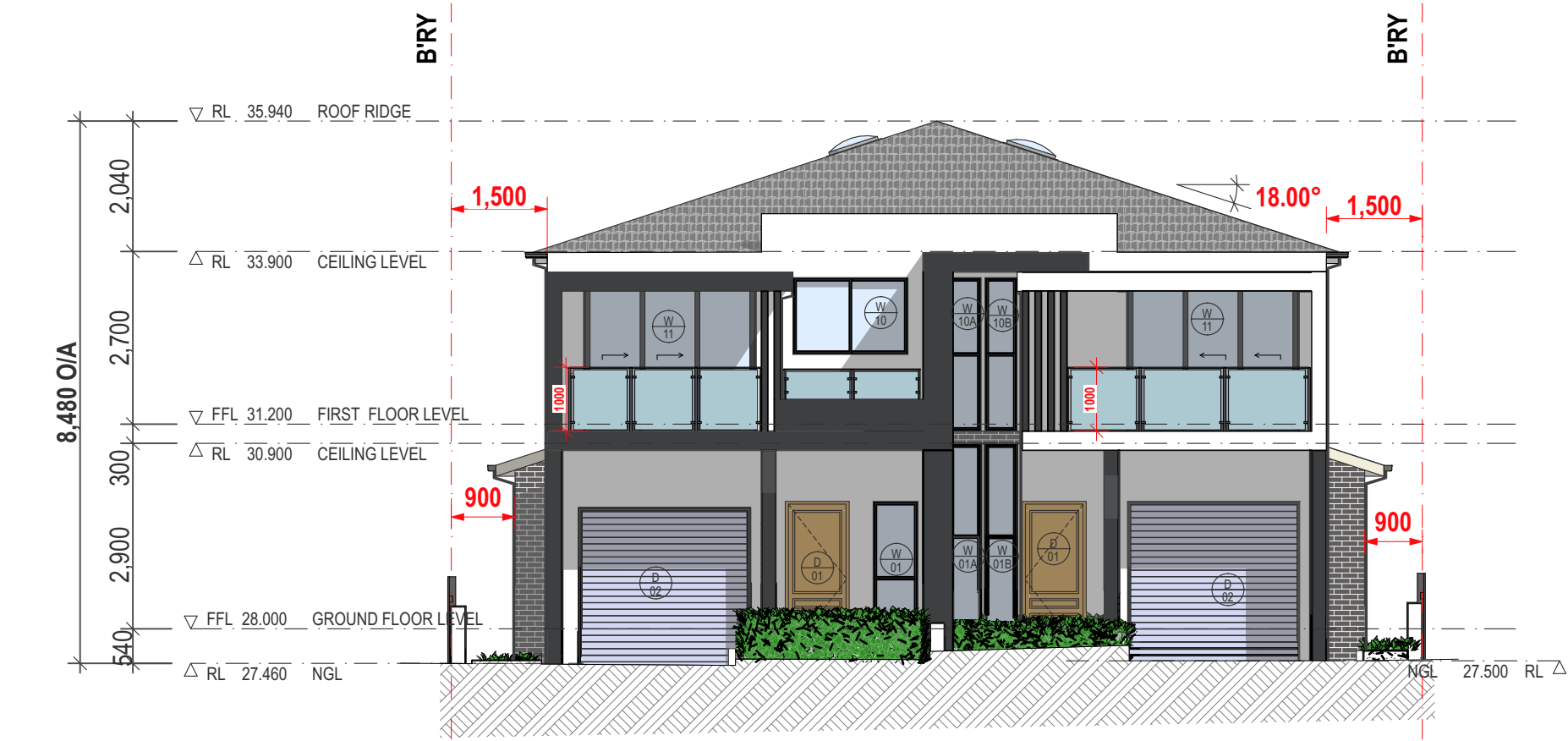


PROPOSED FLOOR PLANS & SITE
PLAN.
drawing

322-104
project

A05
drawing no.

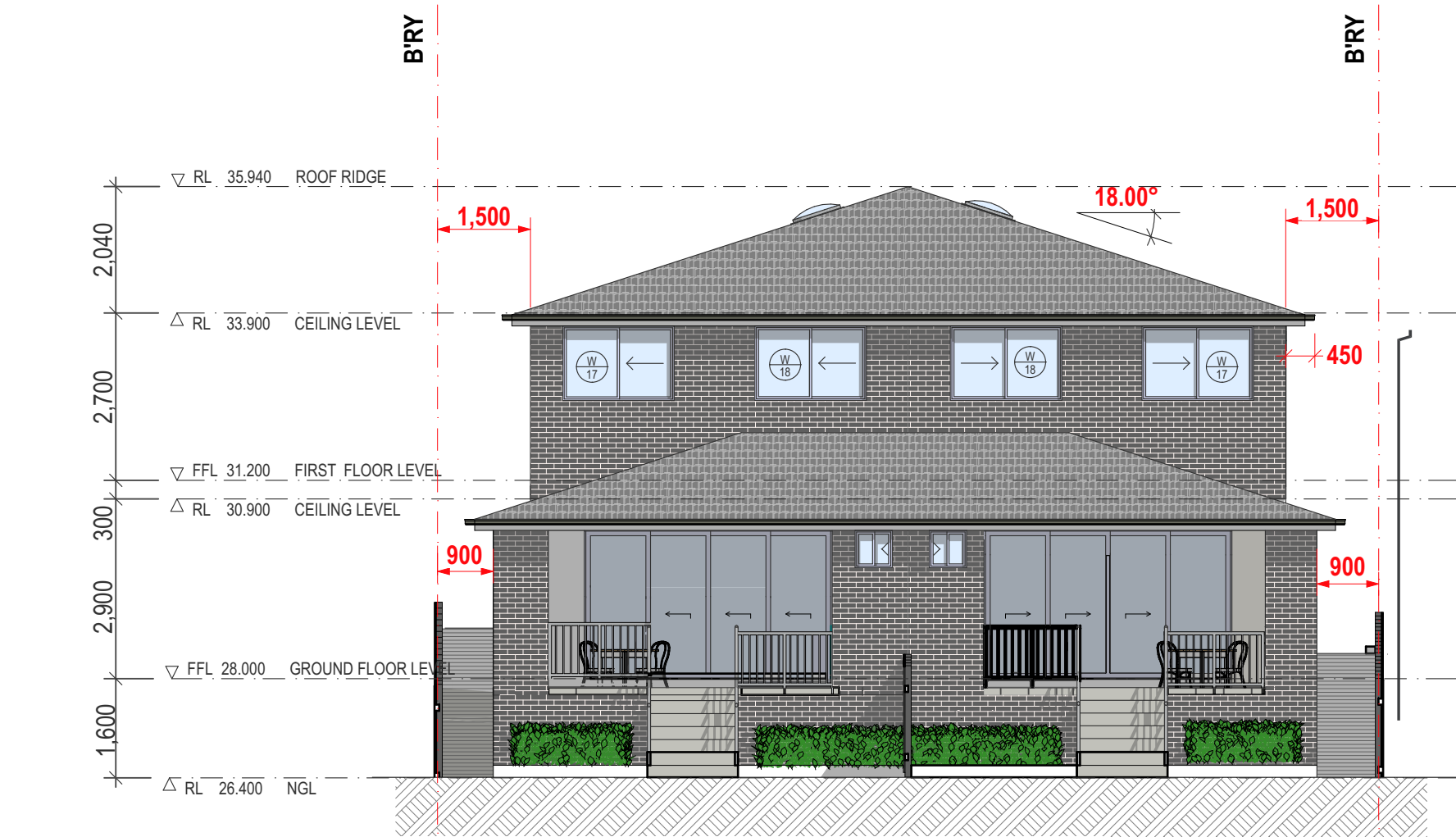
A
issue
28/4/22



FRONT ELEVATION -WEST 1:100.



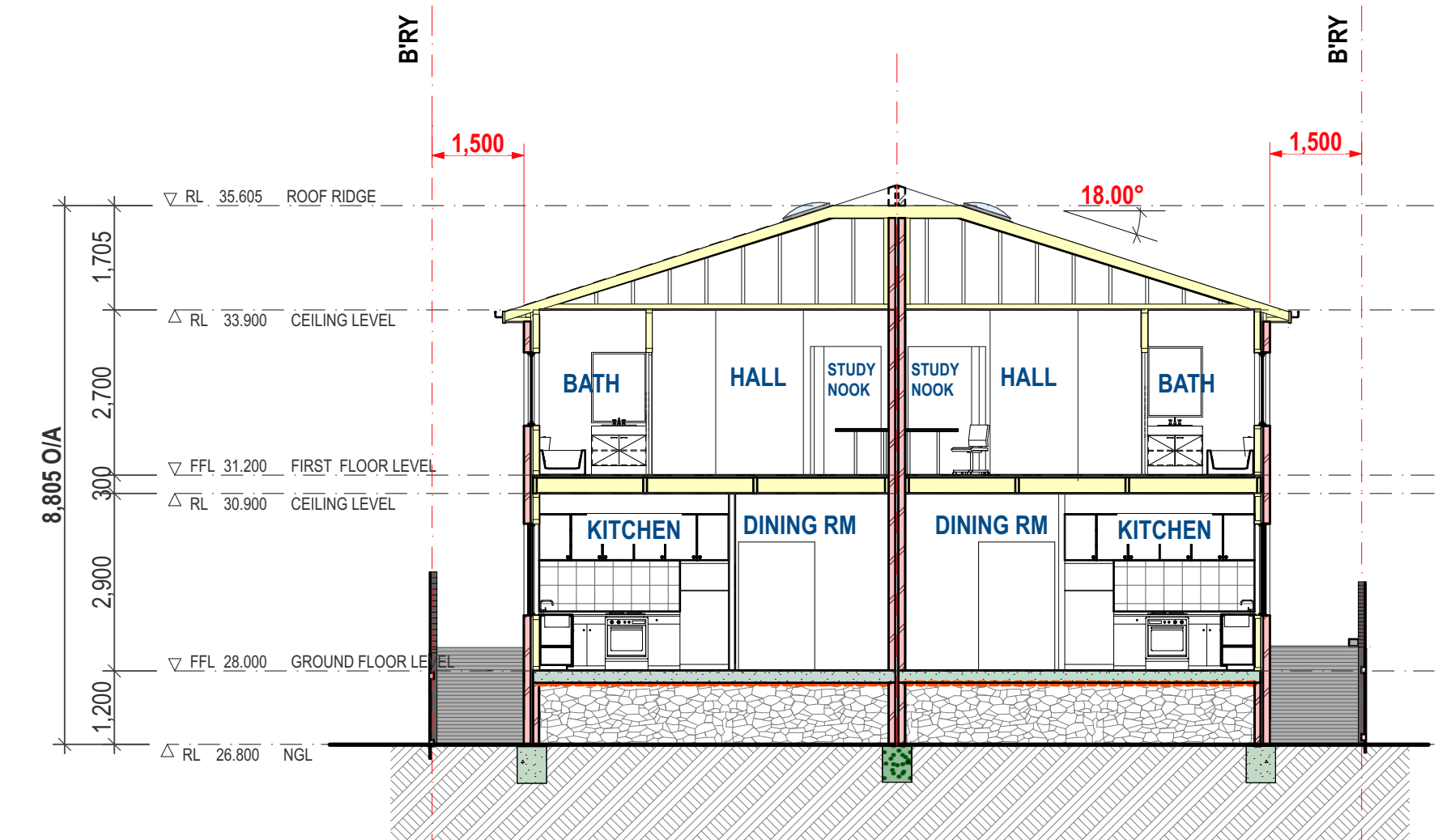
SIDE ELEVATION - NORTH 1:100.



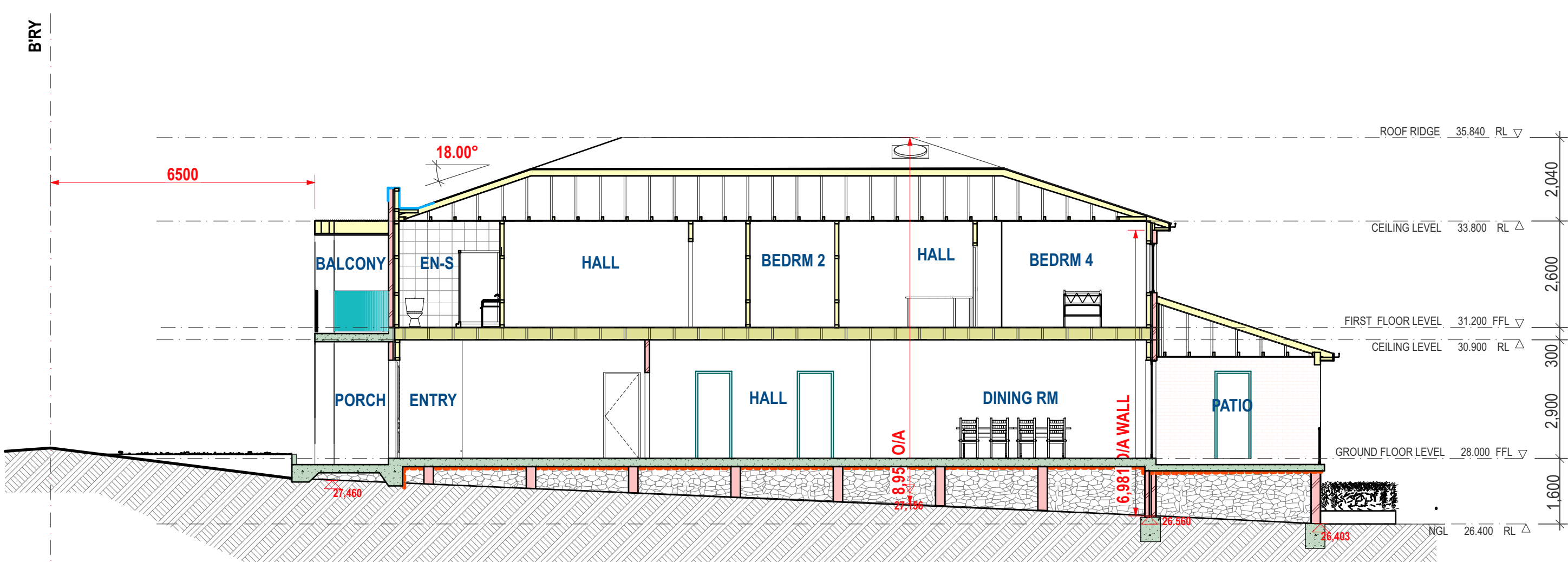
REAR ELEVATION -EAST 1:100.



SIDE ELEVATION - SOUTH 1:100.



SECTION Y-Y 1:100.



SECTION X-X 1:100.

SPECIFICATIONS:

ROOF CONSTRUCTION-BOTH DWELLINGS:
NEW T/C TILES PITCHED ROOF-AS PER SCHEDULE OF EXTERNAL FINISHES.
PITCH = 18.00 DEG.
EAVES = 450 mm WITH GUTTERS.
GUTTERS/DOWN PIPES= SEL. COLORBOND GUTTERS & DOWN PIPES =
CONNECT & DISCHARGE TO COUNCIL'S STORM WATER PIPE —
AS PER STORM WATER DRAINAGE CONCEPT PLANS.
ALL WORK & MATERIALS TO CONFORM TO AS 1684.2-2010 CODE.
SEE SPECIFICATIONS FOR THE SIZES OF THE ROOF'S
STRUCTURAL TIMBER FRAME MEMBERS.
10mm PLASTER BOARD SHEETING TO CEILING LINING & SEL CORNICE.
FIBRO SHEETING TO EAVES & BALCONY CEILING LINING.
ROOF TO BE INSULATED WITH ALUM. SHEETING SARKING.
CEILING TOP BE INSULATED AS PER BASIX CERTIFICATE.

WALL CONSTRUCTION-BOTH DWELLINGS:
EXTERNAL WALLS- BOTH FLOORS:
250mm BRICK VENEER WALLS-
SEL. FACE BRICKS SEL. PARTS & 12 mm CEMENT RENDER WITH SEL. PAINT FINISH
IN OTHER PARTS-AS PER SCHEDULE OF EXTERNAL FINISHES.
SEE SPECIFICATIONS FOR THE SIZES OF THE WALL'S STRUCTURAL
TIMBER FRAME MEMBERS.
ALL CARPENTRY WORK & MATERIALS TO CONFORM TO AS 1684.2-2010 CODE.
EXTERNAL WALLS TOP BE INSULATED AS PER BASIX CERTIFICATE.
10mm PLASTER BOARD SHEETING TO WALL INTERNAL LINING.

INTERNAL WALLS:BOTH FLOORS:
100mm TIMBER FRAMED WALLS WITH 10mm PLASTER BOARD SHEETING.
SEE SPECIFICATIONS FOR THE SIZES OF THE WALL'S STRUCTURAL
TIMBER FRAME MEMBERS.
ALL CARPENTRY WORK & MATERIALS TO CONFORM TO AS 1684.2-2010 CODE.
PROVIDE 10mm PLASTER BOARD SHEETING INTERNAL WALL LINING.

PARTY WALL:
PARTITION WALLS:FIRE & ACOUSTIC DETAIL

FIRE SEPARATION:
THE 270mm BRICK CAVITY PARTY WALL TO BE
TAKEN UP ALL THE WAY TO THE U/S OF THE ROOFING TILES
& SEALED WITH A SMOKE PROOF SEALANT AS PER
BCA 2019 (NCC 2019) VOL 2-CL 3.7.3.2. (FIGURE 3.7.3.2 a&b).
NO PENETRATIONS THROUGH THE PARTY WALL
OF ROOF TIMBER MEMBERS ARE ALLOWED.
PROVIDE SOLID BRICKS WITH FRL60/60/60.

SOUND SEPARATION:
2 LEAVES OF 110mm BRICK SKINS & 50mm CAVITY.
50mm THICK GLASS WOOL INSULATION WITH A DENSITY OF 11KG/M3
OR 50mm POLYESTER INSULATION
WITH A DENSITY OF 20Kg/m3 IN THE CAVITY.

FLOOR CONSTRUCTION:
GROUND FLOOR:
R/C SUSP. SLAB TO ENGINEERING DETAILS;
PROVIDE & INSTALL A W/P MEMBRANE ON THE U/S OF THE SLAB.

FIRST FLOOR CONSTRUCTION:
TIMBER FRAME FLOOR- SEL. T&G FLOOR BOARDS- STAINED & POLISHED.
SEE SPECIFICATIONS FOR THE SIZES OF THE FLOOR'S
STRUCTURAL TIMBER FRAMED MEMBERS.
ALL CARPENTER'S WORK & MATERIALS TO CONFORM WITH AS 1684.2-2010 CODE.
10mm PLASTER BOARD SHEETING TO THE U/S FLOOR LINING.

STAIRS CONSTRUCTION: BOTH STAIRS:
TIMBER FRAME STAIRS-TO DETAILS.

WINDOWS & SLIDING DOORS.
SEL. ALUMINIUM FRAMED SLIDING WINDOWS & DOORS.
LAMINATED GLASS WITH SEL. FLY SCREENS & LOCKS.
SIZES AND QUALITY TO WINDOW SCHEDULE & BASIX CERTIFICATE.
FLY SCREENS AND LOCKS INCLUDED. TO WINDOW SCHEDULE.
ALL OPENABLE WINDOW PROTECTION MEASURES-REFER TO NOTES ON DWG A03.
ROOF SKYLIGHTS:
SEL. ALUMINIUM FRAMED ROOF SKYLIGHT LAMINATED GLASS-
TO BASIX CERTIFICATE & WINDOW SCHEDULE.

DRIVEWAY CONSTRUCTION:
R/C STRIP SLAB ON GROUND- TO ENG. DETAILS.
FINISH AS PER SCHEDULE OF EXTERNAL FINISHES.

GARAGE DOORS:
SEL. AUTOMATIC GARAGE COLORBOND ROLLER DOORS
TO SCHEDULE OF EXTERNAL FINISHES.

NOTES :
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT
OF WORK. REPORT ANY DISCREPANCIES.
C.O.S DENOTES ITEM TO BE CHECKED ON SITE.
ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSSUM SURVEYING
SERVICES PT. L.
AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS. PLANS AND
SPECIFICATIONS AND THE
COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED,
REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF
ERGO DESIGNS.

..	..	..
..	..	..
..	..	..
A	D.A SUBMISSION	28.04.22
rev	notes	date

This drawing is issued upon the condition it is not
copied, reproduced, retained or disclosed to any
unauthorised person
either wholly or in part without prior consent in
writing of ergo designs.

Mr M NGUYEN
38 CLARENCE STREET, CONDELL
PARK NSW

client

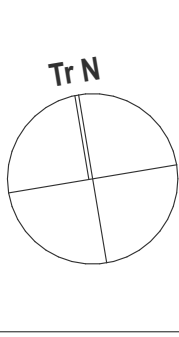
NEW TWO STOREY ATTACHED
DUAL OCCUPANCY & S/DIVISION
project
38
CLARENCE STREET,
CONDELL PARK
address

Ergo Designs P/L

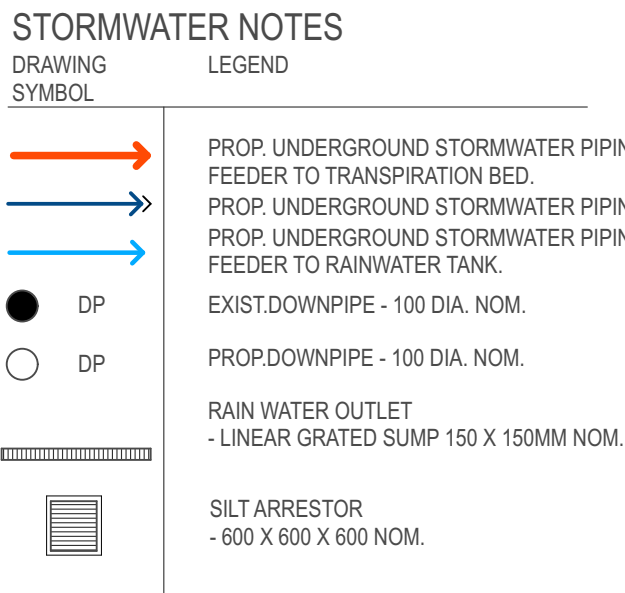
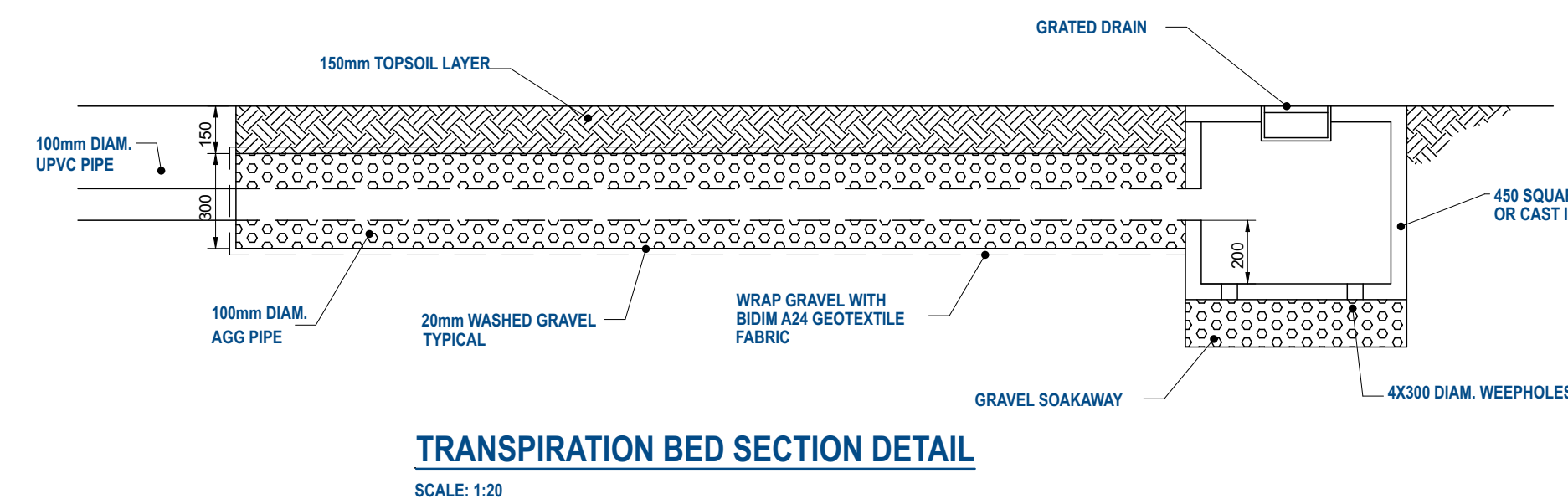
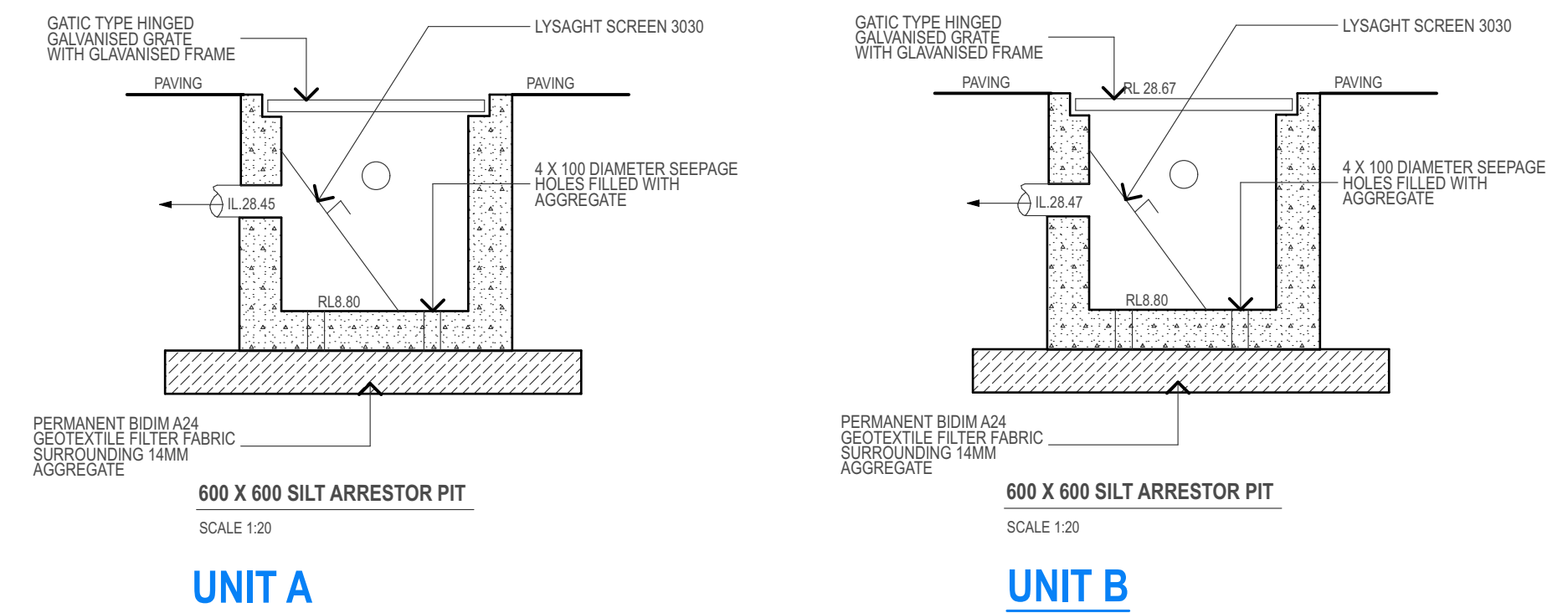
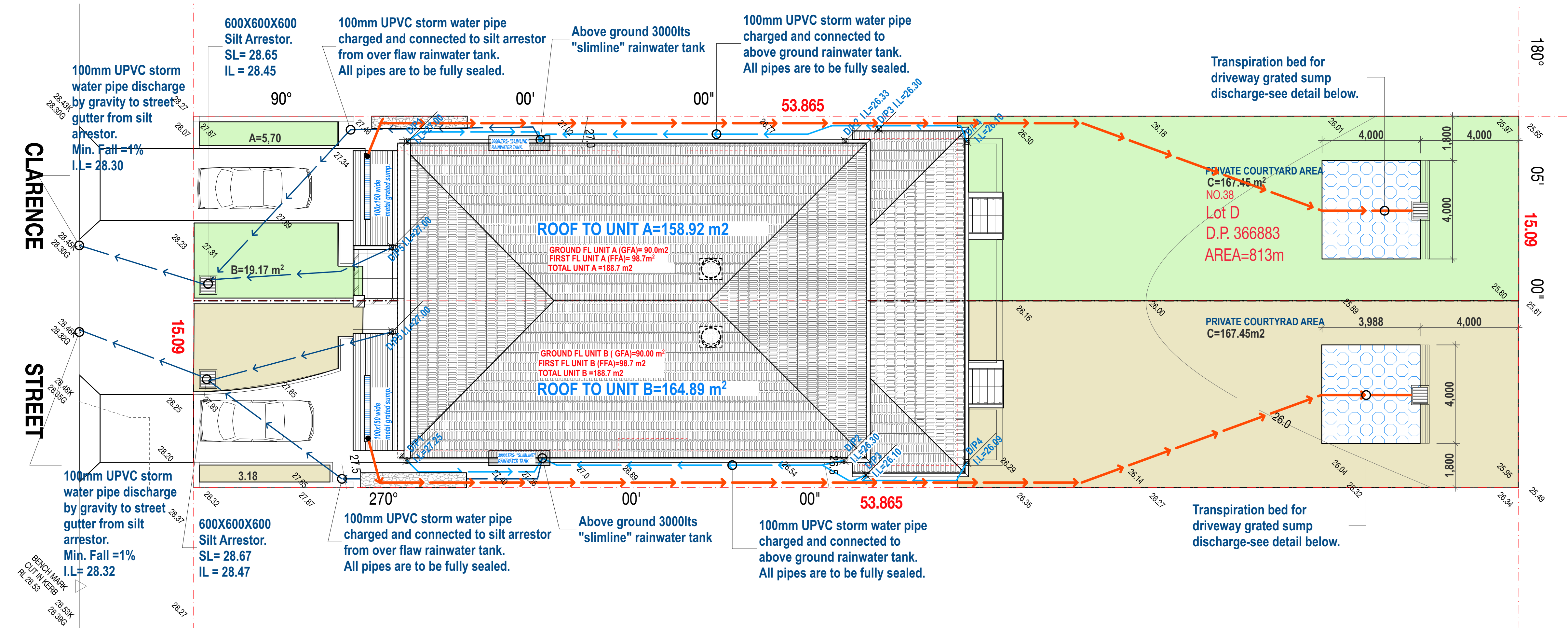
building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

bdaa
ACCREDITED
BUILDING DESIGNER

Accreditation No.6667



ELEVATIONS & SECTIONS
drawing
322-104
project
A06
drawing no.
A
issue
28/4/22



NOTES

THIS DRAWING IS INDICATIVE OF THE STORMWATER DISCHARGE DESIGN CONCEPT ONLY.

WATER RUN-OFF FROM PAVED AREAS IS TO BE ABSORBED AT THE PERIMETER GARDEN BEDS

ALL NEW STORMWATER PIPING TO BE 150MM DIA. STORMWATER GRADE UPVC.- TO HYDRAULIC ENGINEER'S DETAILS

SIZING OF ALL NEW ROOF GUTTERS DOWNPIPES AND UNDERGROUND STORMWATER PIPES ARE TO BE VERIFIED BY HYDRAULIC CONTRACTOR ON SITE BEFORE THE COMMENCEMENT OF THE WORKS.

ALL STORMWATER DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIREMENTS.

EXISTING STORMWATER PIPELINES ARE TO BE INSPECTED AND RECTIFIED OR REPLACE IF REQUIRED BY HYDRAULIC CONTRACTOR .

DESIGN CERTIFICATE

STORM WATER DRAINAGE CONCEPT PLAN 1:100.

NOTES :

DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES. C.O.S DENOTES ITEM TO BE CHECKED ON SITE.

ALL LEVELS ARE TO **AND** HAVE BEEN DETERMINED FROM OSSUM SURVEYING SERVICES P/L.

AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ERGO DESIGNS.

..	..	..
..	..	..
..	..	..
..	..	..
A	D.A SUBMISSION	28.04.22
rev	notes	date

This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without prior consent in writing of ergo designs.

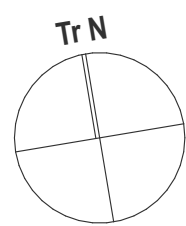
Mr M NGUYEN
38 CLARENCE STREET, CONDELL PARK NSW

client

NEW TWO STOREY ATTACHED DUAL OCCUPANCY & S/DIVISION
project
38
CLARENCE STREET,
CONDELL PARK
address

Ergo Designs P/L
building designers and consultants
334A homer st earlwood nsw 2206 ph: 9558 1233
e-mail: ergo-des@bigpond.net.au

bdaa
ACCREDITED
BUILDING DESIGNER
Accreditation No.6667



STORM WATER DRAINAGE CONCEPT PLAN
drawing

322-104
project
A07
drawing no.
A
issue
28/4/22